

SECTION D  
DEVELOPMENT TO BE CARRIED OUT BY THE COUNTY COUNCIL

Background Documents: the deposited documents; views and representations received as referred to in the reports and included in the development proposals dossier for each case; and other documents as might be additionally indicated.

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**Item D1**

**Proposed stand-alone teaching block to provide three new classrooms and associated facilities, new entrance lobby to existing school, and expansion of car park at Edenbridge Primary School, High Street, Edenbridge – SE/16/03272/KCCRG3 (KCC/SE/0273/2016)**

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A report by Head of Planning Applications Group to Planning Applications Committee on 8<sup>th</sup> February 2017.

Application by Kent County Council Planning and Infrastructure for stand-alone teaching block to provide three new classrooms and associated facilities, new entrance lobby to existing school, and expansion of car park at Edenbridge Primary School, High Street, Edenbridge, Kent TN8 5AB – SE/16/03272/KCCRG3 (KCC/SE/0273/2016)

**Recommendation:** the application be referred to the Secretary of State for Communities and Local Government, and subject to his decision, that planning permission be granted, subject to conditions.

Local Member: Mr Clive Pearman

Classification: Unrestricted

**Site**

1. Edenbridge Primary School is located within the town of Edenbridge, in the District of Sevenoaks. The school lies within the centre of the town, on the eastern side of the High Street, and is accessed from a road alongside of and shared with the Police Station. This leads to the School's car park and main entrance, but other pedestrian access gates are located along Frant Field and Croft Lane, which lie to the south of the site. To the north-east of the school site is the town's railway station and railway line. The school is surrounded by residential properties, and in close proximity to the town's shops along the High Street.
2. The surrounding residential streets have some provision for on street parking, but also areas of parking restrictions, including the zig-zag keep clear school markings along Frant Field. The existing car park provides space for the parking of 22 cars, although not all meeting current regulations in size. The School building is located in the south-west corner of the site, close to the vehicular entrance; the playground lies in the south-eastern corner and the school playing fields located to the north-east. The school is enclosed with mature hedging and a dwarf brick wall along the boundary with Frant Field, and elsewhere with fencing. There are mature trees along the eastern boundary of the playing field backing onto the houses in Greenfield.
3. The school itself is a single storey, traditionally constructed brick building with a series of pitched roofs and a central flat roof. There are two small internal courtyards to allow light into the central sections of the school. A covered external teaching area stands within the grounds, along with a soft play adventure area, and a ball court, plus a stand-alone building which houses the Sure Start facility which is located to the north of the

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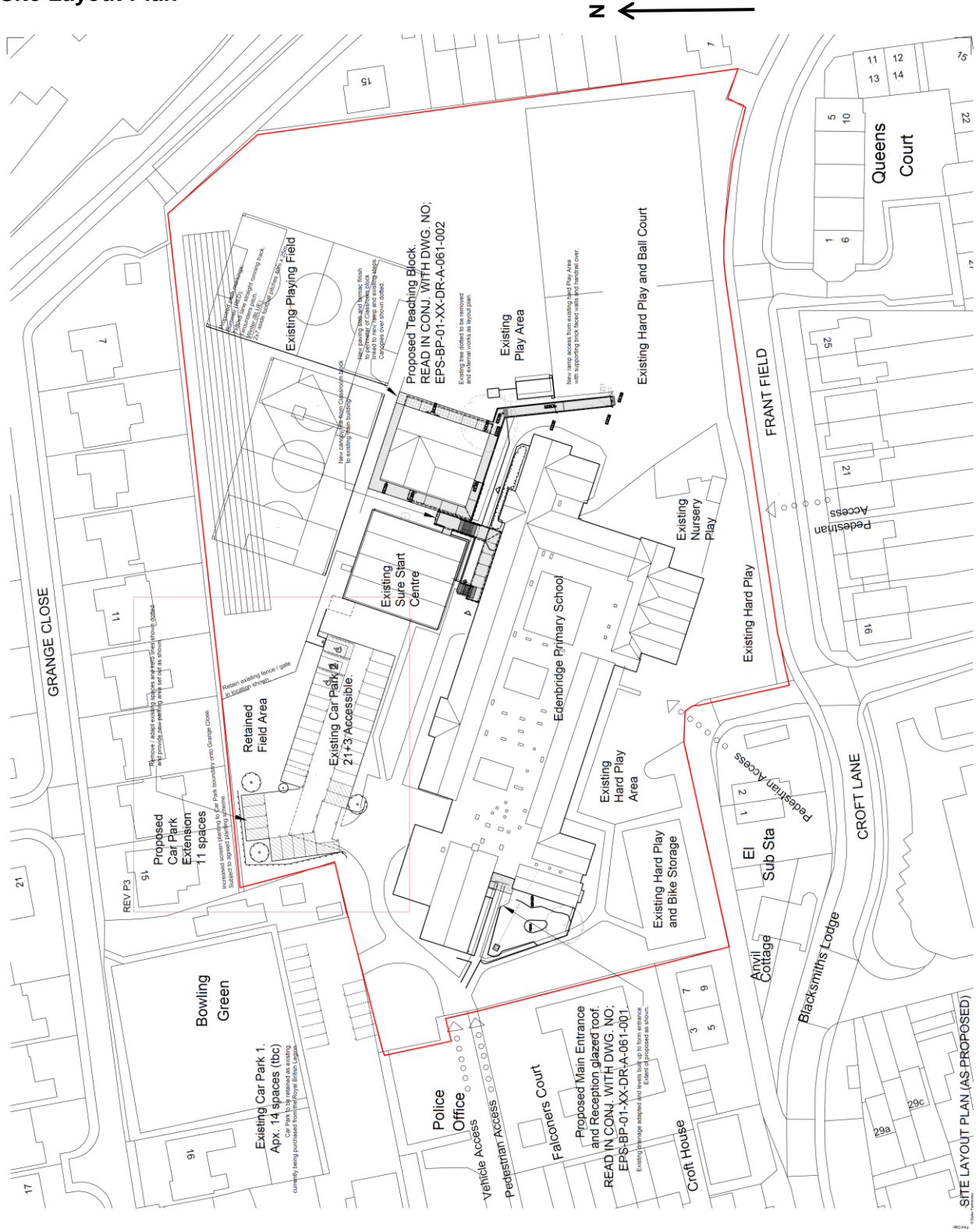
**General Location Plan**



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Site Layout Plan



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**Proposed Elevations of new Classroom Block**

16/03/2016  
16/03/2016



North Elevation  
1:50



South Elevation  
1:50

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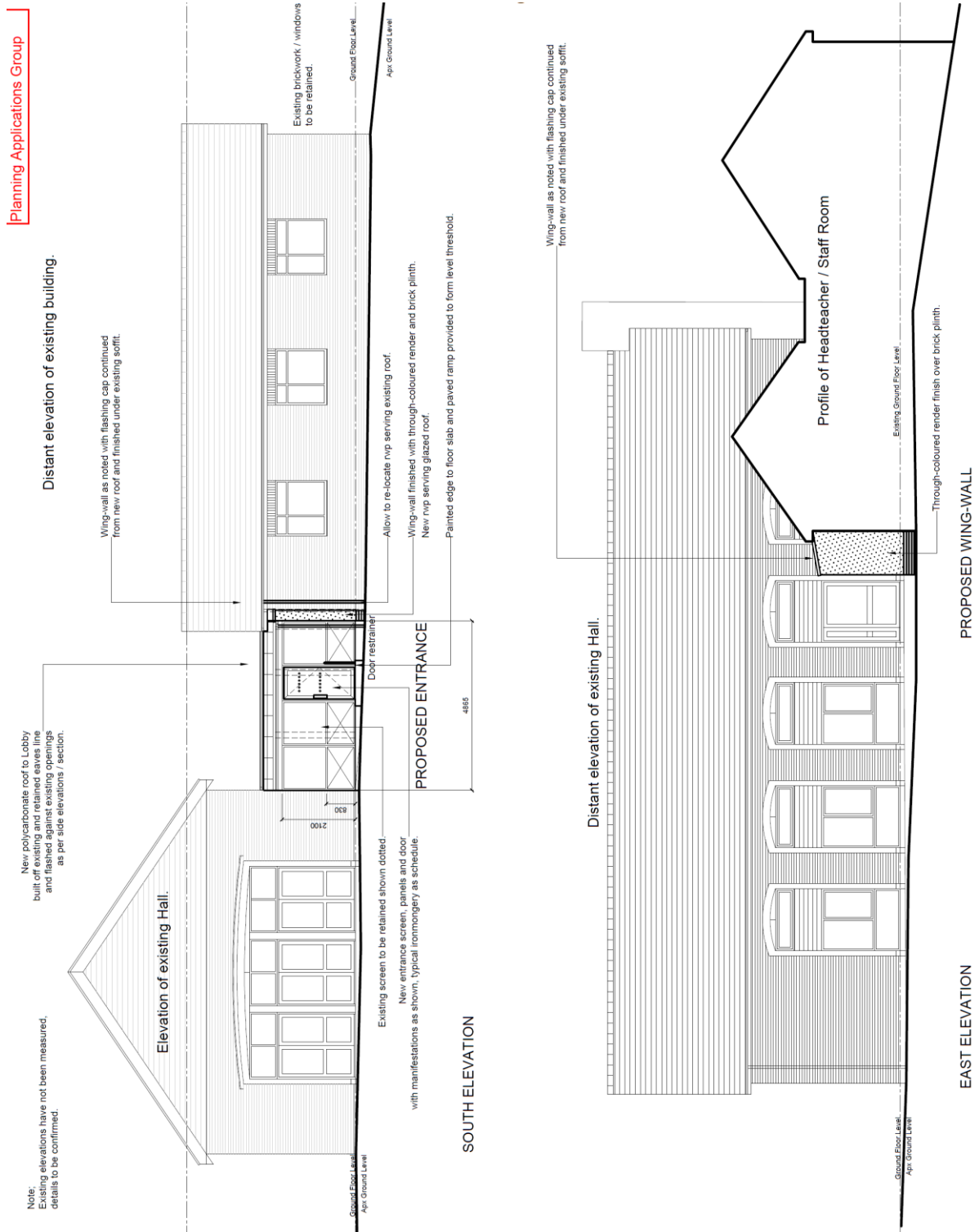
East Elevation  
1:50



West Elevation

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**Proposed Elevation of new front entrance**



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main school. This is used independently from the primary school and accessed separately from the main car park.

4. In terms of Local Plan policies, the site lies within the settlement boundary of Edenbridge, and outside of but adjacent to the town centre designation, and close to the conservation area boundary which runs along the High Street. The school site excluding the original school building itself is covered with an Open Space policy designation, the wording of which is provided in paragraph 11 below.

### **Background**

5. A need for additional primary school places have been identified in the Sevenoaks District as a result of changing demographics in the area and inward migration from London, EU and non EU countries, plus new housing developments in the area. There is a forecast deficit of primary places for several parts of the Sevenoaks rural area from 2016 onwards. Edenbridge Primary School is the only school in the town where an additional 300 homes have been agreed by the District Council, and where there are already 60 four-year-old children who will require school places. There are limited options for the expansion of alternative school sites in the Sevenoaks district area, and therefore without expanding Edenbridge parents will have a restricted choice of school places and children may have to travel considerable distances for a school place. KCC Education suggest that within the town this school would sit in the area of greatest need, the site size is adequate to accommodate the expansion, the Headteacher and governors are supportive of the proposal and the school has been graded 'Good' by Ofsted.

### **Recent Site History**

6. In 2006 permission was granted for a covered external canopy and in 2008 consent given for the replacement of two sheds and the formation of a new door opening to an existing window. There is no other recent planning history.

### **Proposal**

7. The application seeks approval for a stand-alone single storey building to provide three new classrooms with associated ancillary space and toilets. The new building would sit alongside the Sure Start building and would result in the loss of the corner of the playing fields and require the removal of one tree. The building would have a rectangular footprint, being 16m by 19m (52ft by 62ft) in size. The building would predominantly have a pitched roof design, with a small flat roof element, a mixture of brickwork and timber cladding on the elevations and a slate grey plain tile roof. There would be powder coated polyester windows, rooflights and doors, with coloured panels between the windows, and a timber canopy frame with a Perspex roof running along the eastern and western elevations. The building would be linked to the main school with a covered canopy.
8. In addition a small extension is proposed to the existing main entrance to the school to provide a new lobby area. This would simply infill an area between the existing hall and office, where the existing reception had been set back. It would project 1.25m (4.1ft) in

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front of the existing office elevation and link to the hall, and would have a polycarbonate roof and a new entrance screen, panels and doors to match the existing.

9. The proposals also involve the reorganisation and expansion of the school car park to provide an additional parking area, so that in total there would be 35 parking spaces, including three accessible parking bays within the school site.
10. The proposed development would enable the school to expand to a 3 Form Entry primary school with 630 pupils (90 in each year) and 68 members of staff. In the past the school has already accepted a bulge intake, therefore is operating slightly above the 2FE pupil roll of 60 children in the lower years, but further up the school the current pupil numbers are currently less than 60 per year. The proposed 3FE intake would happen incrementally as the pupils move up through the school.

**Planning Policy**

11. The most relevant Government Guidance and Development Plan Policies summarised below are pertinent to the consideration of this application:

(i) **National Planning Policy Framework (NPPF)** March 2012 and the **National Planning Policy Guidance** (March 2014), sets out the Government's planning policy guidance for England, at the heart of which is a presumption in favour of sustainable development. The guidance is a material consideration for the determination of planning applications but does not change the statutory status of the development plan which remains the starting point for decision making. However the weight given to development plan policies will depend on their consistency with the NPPF (the closer the policies in the development plan to the policies in the NPPF, the greater the weight that may be given).

In determining applications the NPPF states that local planning authorities should look for solutions rather than problems, and decision takers at every level should seek to approve applications for sustainable development where possible.

In terms of delivering sustainable development in relation to this development proposal, the NPPF guidance and objectives covering the following matters are of particular relevance:

- Consideration of whether the opportunities for sustainable transport have been taken up and safe and suitable access to the site can be achieved for all people;
- Achieving the requirement for high quality design and a good standard of amenity for all existing and future occupants of land and buildings;
- The great importance that the Government attaches to ensuring that a sufficient choice of school places is available to meet the needs of existing and new communities, and that great weight should be given to the need to create, expand or alter schools.

Paragraph 74 of the NPPF is also relevant to the consideration of this application, it states that:

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*Existing open space, sports and recreational buildings and land, including playing fields, should not be built on unless*

- *an assessment has been undertaken which has clearly shown the open space, buildings or land to be surplus to requirements; or*
- *the loss resulting from the proposed development would be replaced by equivalent or better provision in terms of quantity and quality in a suitable location; or*
- *the development is for alternative sports and recreational provision, the needs for which clearly outweigh the loss.*

(ii) **Policy Statement – Planning for Schools Development** (15 August 2011) which sets out the Government’s commitment to support the development of state-funded schools and their delivery through the planning system.

(ii) **Sevenoaks District Core Strategy (February 2011)**

**Policy SP1 Design of New Development and Conservation:** Requires all new development to be designed to a high standard, reflect the distinctive local character of an area, create safe, inclusive and attractive environments, incorporate sustainable development principles and maintain biodiversity. Account should be taken of guidance adopted by the District Council in the form of Conservation Area Appraisals and Parish Plans, amongst other matters. The Districts heritage assets and their settings, including listed buildings, conservation areas, historic buildings, archaeological remains, landscapes and outstanding views will be protected and enhanced.

**Policy SP2 Sustainable Development:** Sets standards for sustainable design and construction. Institutional development will be required to achieve a BREEAM rating of at least ‘very good’. In order to achieve this, the proposal will be expected to demonstrate 10% energy savings through renewable sources.

**Policy SP10 Green Infrastructure, Open Space, Sport and Recreation Provision:** Promotes the provision of multifunctional green space by linking existing green space areas. The Policy also seeks the retention of open space, sports and recreational facilities, including indoor facilities of value to the local community, unless any loss can be justified by additional provision of at least equivalent value to the local community.

**Sevenoaks Allocations and Development Management Plan (February 2015)**

**Policy SC1 Sustainable Development:** requires that Council’s take a positive approach that reflects the presumption in favour of sustainable development contained in the NPPF when dealing with development proposals. Council’s should work proactively with applicants to ensure proposals can be approved wherever possible and to secure



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development that improves the economic, social and environmental conditions in the area. This should be done in accordance with Local Plan policies and have regard to the suitability of the proposal to its location; its impact on the surrounding environment; its contribution to creating a balanced community; the conservation and enhancement of cultural heritage; contribution to and impact on the economy; and the impact on existing infrastructure.

- Policy EN1 Design Principles:** sets out the need for high quality design and for proposals to meet criteria including: responding to scale, height and materials; respecting the topography and character of the site and any sensitive features; not result in the loss of buildings or open space that would affect the character of an area, provided satisfactory means of access and parking provision; include opportunities for increasing biodiversity potential, including sustainable drainage and to avoid harm to existing biodiversity; create a permeable layout; safe and easy access for those with disabilities; creation of a safe and secure environment to deter crime and fear of crime; include modern communication technology and infrastructure; and make efficient use of land.
- Policy EN2 Amenity Protection:** Proposals should provide adequate residential amenities for existing and future occupiers of development, and safeguard amenities of existing and future occupiers of nearby properties by ensuring development does not result in excessive noise, vibration, odour, activity, vehicle movements, overlooking or visual intrusion and where it would not result in a loss of privacy or light.
- Policy G12 Loss of Open Space:** states that the redevelopment of green infrastructure, open space, sport or recreation sites within the urban confines of towns and villages and redundant school playing fields will not be permitted unless the applicant demonstrates (i) that the open space is surplus to requirements and there is no need for an alternative community, sport or recreation use; (ii) the loss will be mitigated by equivalent replacement provision; or (iii) the development is for alternative sports/recreation use.
- Policy T1 Mitigating Travel Impact:** Sets out the need to mitigate against adverse travel impacts including their impact on congestion and safety, environmental impact such as noise, pollution and impact on amenity and health.
- Policy T2 Vehicle Parking:** Sets out that vehicle parking provision, including cycle parking, for non-residential developments should be in accordance with the advice of Kent County Council as Local Highway Authority.

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**Consultations**

12. **Sevenoaks District Council** raise an objection to the proposal on the grounds that it would result in the loss of protected green open space without justification or alternative provision, contrary to Policy G12 of the Sevenoaks Allocations and Development Management Plan.

**Edenbridge Town Council** - no views received.

**KCC Highways and Transportation Officer** considers that there are not any severe highway safety concerns relating to the proposed development and that it would comply with KCC and Sevenoaks District policies. Recommend conditions be imposed requiring the submission of an updated School Travel Plan and a comprehensive Construction Management Plan covering issues such as delivery times, site staff parking, delivery lorry access and turning, and wheel washing facilities.

**Sport England:** raise no objection to the car park alterations or main entrance extension, but object to the proposed new classroom building on the grounds that it would not accord with any of the exceptions to Sport England's Playing Fields Policy or with Paragraph 74 of the NPPF.

**The Environment Agency** raise no objection.

**KCC School Travel Planner** confirms that the submitted School Travel Plan is acceptable in principle but that it needs to be updated with current pupil postcode data.

**County Archaeological Officer** raises no objection subject to the imposition of a condition to secure archaeological field evaluation works in respect of likely Roman or later activity which may survive on the site.

**KCC Flood Risk Project Officer** regards the development as low risk but suggest that the Drainage Strategy referred to in the Flood Risk Assessment be submitted prior to the commencement of development.

**Local Member**

13. The local County Member, Mr Clive Pearman was notified of the application on 21<sup>st</sup> October 2016. Mr Pearman wrote to advise that he was in support of the proposed extension and would like to address the Planning Applications Committee should the application have to go before Members.

**Publicity**

14. The application was publicised by the posting of three site notices, and the individual notification of 52 residential properties.

**Representations**

15. In response to the publicity, three letters of representation have been received. The key

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points raised can be summarised as follows:

- Concerned about the congestion on the surrounding roads at drop off and pick up times;
- Existing parking restrictions ignored by parents;
- Suggest the car park should be big enough for parents to drop off and pick up on site;
- Suggest an additional pedestrian access from Grange Close would help alleviate problems;
- Doubt the walking buses suggested would be effective, especially in the rain.

**Discussion**

16. In considering this proposal regard must be had to the Development Plan Policies outlined in paragraph 11 above. Section 38(6) of the Planning and Compulsory Purchase Act (2004) states that applications must be determined in accordance with the Development Plan, unless material considerations indicate otherwise. Therefore the proposal needs to be considered in the context of the Development Plan Policies, Government Guidance and other material planning considerations arising from consultation and publicity.
17. This application is being reported for determination by the Planning Applications Committee due to the objections raised by the District Council, the objections received from Sport England, and the neighbour representations received. In my opinion, the key material planning considerations in this particular case are the principle of development in this location in relation to the Open Space policy of the Allocations and Development Management Plan; the siting and design of the proposed extension in terms of its built form (and sustainability); its siting which results in the loss of part of the playing field; the highway and transportation implications of the school expansion on the surrounding roads and the subsequent amenity impacts of this for neighbouring residents.

**Principle of development relating to planning policy**

18. The school site lies within the defined settlement boundary of Edenbridge, where the principle of development is considered acceptable. However, the land surrounding the existing school building is all covered by the Open Space policy designation G12 which, as set out in paragraph 11, seeks to protect such areas from change of use or redevelopment unless the open space is surplus to requirements and there is no need for an alternative community, sports or recreation use; the loss will be mitigated by equivalent alternative provision; or the development is for alternative sports/recreational use.
19. There is no evidence to demonstrate that the open space within the school grounds is surplus to requirements and therefore the proposed school extension does not meet any of the above exceptions and as such the development would be contrary to this Policy, and Sevenoaks District Council has raised an objection to the application on these grounds. The NPPF, however, requires Local Planning Authorities to take a proactive, positive and collaborative approach to meeting the requirement to provide sufficient school places, and paragraph 72 states that great weight should be given to the need to

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create, expand or alter schools. Paragraph 5 of this report sets out the need for this school to be expanded to a 3FE Primary School, and the lack of any suitable alternative provision that would not require children to travel some distance to attend school. The open space policy designation has been tightly drawn around the existing school leaving no opportunity for any expansion here without being contrary to Policy.

20. The area of land which the extension would be built on forms part of the existing school playing field, yet the school would retain sufficient space to be able to provide the required sports pitches and facilities, as set out in paragraph 27 below. The proposals would allow expansion of an existing school facility located in a sustainable location, which would meet the requirements of the NPPF in relation to school provision, and the aims of Policy SC1 of the Allocations and Development Management Plan by improving social conditions and helping create a balanced community. In my opinion the strict application of the open space policy would restrict an otherwise acceptable development and the provision of these additional school places would be of a wider benefit to the local community than the protection of an area of amenity green space, only used by the school children themselves. Therefore, despite the objection received from Sevenoaks District Council it is my view that the development would meet the aims of the NPPF.

**Siting and design**

21. The proposed classroom building would be sited alongside the Sure Start building and would have a footprint of a comparable size. The building has been designed to reflect the design of the original school and the Sure Start building. It would be constructed with a mixture of brickwork and timber panelling, with a slate grey plain tiled roof. The dark grey windows, doors and flashings would complement the roof colour, and on the eastern elevation the windows would be interspersed with coloured aluminium panels where the classrooms would face the school grounds. The two different pitched roof elements would ensure the overall height of the ridge would be kept low and in proportion to the surrounding structures. Whilst the materials would differ in colours from the original school (which has white windows and doors and brown roof tiles), the overall design would be complementary and the building reflective of its time. The canopy surrounding the eastern elevation and part of the south and western elevation would have a frosted Perspex roof, supported on a timber frame, which would also be complementary and allow covered access from this new building to the main school. The small addition to the main entrance to the school is considered to be very minor in nature and would be barely noticeable given its location tucked between the existing hall and office. The design would be in keeping with the general arrangement of the existing school and is considered to be acceptable.
22. The new building in this proposed location would be viewed in the context of the existing built form on the site, and would be sited well away from any surrounding residential properties. It is considered that the classroom would be of an appropriate and contemporary design in relation to the original school and wider site, sited in an acceptable location, and would therefore accord with the aims of the NPPF, Policy SP1 of the Sevenoaks District Core Strategy and Policy EN1 of the Sevenoaks Allocations and Development Management Plan.

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**Sustainability**

23. The NPPF places a presumption in favour of development that is sustainable and Policies SP2 of the Sevenoaks District Core Strategy and SC1 of the Sevenoaks Allocations and Development Management Plan reiterate this advice at the local level. The Design and Access Statement and addendum provides details of the sustainability design principles that the development would involve, which include lighting sensors so that lights are only used when required; the use of LED lights which are low energy; the orientation of classrooms to maximise natural daylight to ensure lights are not required throughout the day; opening windows for natural ventilation and cooling rather than needing mechanical means; dual flush WC's and timed flow water taps to ensure efficient water usage. The use of energy efficient heating and lighting systems within the design would also further assist in the overall energy reductions of the proposed building.
24. A 'carbon emissions compliance assessment' has been undertaken for the proposed building, and this shows that it would comply with the Part L2A (2013) building regulations emissions criteria. A 30m<sup>2</sup> array of roof mounted PV panels could potentially off-set the Building Emission rate for CO<sub>2</sub> by a further 21.4%, but such an array could not be accommodated on the southern roof slope as this roof area would be too small. Such an array *could* be provided on the south-east facing roof slope, but the panels would need to be orientated at 72° clockwise from North and with a 37° incline. This would mean the panels would stand proud of the roof plane and gives rise to concern about the resultant overall design and ongoing maintenance issues. Given that this application is for a relatively minor extension (3 classrooms) and that the building has been designed to include other energy efficient principles, it is considered that the provision of such a large array of PV panels should not be a formal requirement in this case.
25. Policy SP2 of the Sevenoaks District Core Strategy requires institutional developments to be designed to achieve a BREEAM rating of at least 'very good'. Kent County Council Property and Infrastructure do not undertake BREEAM assessments for the basic needs school projects, but they work within the 'spirit' of BREEAM by working to the same environmental standards but without diverting funds away from the end development itself, towards the costly assessment rating process. Given the sustainable elements incorporated into the design of the building, it is considered that the scheme would comply with the aims of the NPPF and Policy SP2 of the Core Strategy, and is therefore considered to be acceptable.

**Loss of playing field**

26. The proposed new classroom building would be sited on the edge of the existing school playing fields. The area of the field that would be covered by the footprint of the building could potentially be utilised for playing pitches, given that it is level. Historic aerial photographs show that formal playing pitches have extended into this area in the past and also at the time of the site visit, the pitches were similarly orientated so that the corner of the pitch was located close to the tree and therefore would fall within the footprint of the new building.

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27. The applicants have submitted a layout plan for the school grounds showing the proposed footprint of the building and the laying out of two 7-a-side football pitches which can be accommodated on site without being affected by each other. The provision of an 8 lane 80m running track and a rounders pitch for the summer months, can also be accommodated on site should the new classroom be sited as proposed. Although the proposed classroom would result in the loss of an area of useable playing field, it would not compromise the ability of the school to provide the required sports facilities (both hard and soft play) necessary for a 3FE primary school.
28. In support of the application a supplementary statement was submitted in relation to the sports facilities that would be retained on site, which confirmed that the current sports pitch provision would be maintained throughout the process of construction and after the new build was completed. It went on to state that Sevenoaks District Council's Playing Field (pitch) Strategy is not up to date and it is therefore not possible to find documentary evidence to show whether the level of playing pitch provision in the area is acceptable or not. Finally it detailed that the school is in close proximity to Edenbridge Recreation Ground which provides the majority of playing pitches for the town, with further pitches available on other sites. (The Leisure Centre is shown on the general location plan on page 1.2, on the western side of the High Street.) They state that the school has never been asked for the use of its playing fields, despite some pupil's parents being active in local football clubs, but the School has always advised that the pitches are available if required. The School would continue to offer these pitches for community use if such a request was made, but acknowledge that the lack of ancillary facilities (such as showers, toilets etc.) would mean they are unlikely to be practically used on a regular basis.
29. Despite the provision of this supplementary statement and the illustration that the necessary sports provision can be accommodated on site should the new classroom be approved, Sport England have raised an objection to the planning application on the grounds that the proposal would prejudice the use of the playing fields and would not accord with any of the exceptions of the Sport England Playing Field Policy, or Paragraph 74 of the NPPF.
30. In my opinion the proposed classroom has been sited in the most appropriate location for the running of the School, close to the existing built form on the site. To build any form of extension at the School would result in the loss of either playing field or hard play spaces and therefore to inflexibly apply the Sport England Policy would mean that no additional classroom space could be built on site (without extending up from the existing school). It is considered that a more pragmatic approach should be applied, whereby we consider that although a small area of playing field would be built over, the requisite sports provision can still be adequately provided on site and therefore no sports facilities are actually 'lost'. However, because of the objection received from Sport England, if Members agree with this holistic approach and are minded to permit the proposals, the application would need to be referred to the Secretary of State.

**Highway and transportation issues**

31. This application seeks to provide the necessary accommodation to allow the School to expand from a 2FE school to a 3FE school, accommodating a maximum of 630 pupils with the number of staff increasing from 64 to 68. The planning application has been

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supported by the submission of a Transport Statement which has been considered by the County's Highways and Transportation Officer. His view is that the assessment is generally robust and has addressed the key transportation issues relating to the expansion – that being traffic generation and parking issues.

32. The key to reducing the level of on street parking occurring at school start and finish times, and staff parking demand is the production of a revised School Travel Plan. The School Travel Plan, he states, should be used to encourage more sustainable travel modes and increase the numbers of pupils and staff who use such methods. The production of a revised Travel Plan can be secured through a suitably worded condition, and the School should be required to update the plan on a yearly basis through the Jambusters system, with the results published on the school's website. New initiatives such as the Responsible Parking Programme should also be promoted in the Travel Plan.
33. On street parking is available around the site, alongside some areas of parking restriction, although it is acknowledged that these may not be rigorously enforced, as suggested by the objectors. There is also a free car park within a short walking distance of the school, off Frant Field (as annotated on the general location plan, page D1.2). The school car park is only used by members of staff and visitors, therefore any additional pupil related traffic generated by the school expansion would need to be accommodated on the surrounding roads and/or the nearby public car park. The Highways Officer acknowledges that there is likely to be congestion at the school and that this can have a detrimental impact on the amenity of the local residents, but in most cases this is a short lived nuisance and irritation rather than a serious risk to road safety. As with other recent applications, the fact that this disturbance only occurs on the days when the school is open has to be taken into account, along with the fact that the public highway is there to be used by all parties and not the sole preserve of any one category of highway user. The key to minimising traffic nuisance and avoiding safety risks is sound management of the available facilities and in this instance these are best pursued through the School Travel Plan.
34. In terms of the proposed alterations to the car park, the reorganisation and expansion of this would allow for the parking on site to increase from 24 spaces to 35 spaces, including 3 accessible spaces. In addition the school also use a car park currently owned by the British Legion just to the south of the Bowling Green. This car park provides a further 14 parking spaces and access to it is from within the existing School grounds. The School are currently in the process of purchasing this car park from the British Legion, but the sale has yet to be finalised. The combined provision of these two car parks would be 49 spaces which the Highways Officer confirms would be acceptable, and in accordance with the County parking standards and Policy T2 of the Sevenoaks District Allocations and Development Management Plan.
35. In summary it is considered that given the proposed increase in parking provision as shown on the submitted drawings, that these spaces are conditioned to be retained, and that the School Travel Plan is updated and monitored to promote and encourage travel to school in a sustainable manner, the proposed development would not result in any severe highway safety concerns and would therefore accord with the aims of the NPPF.

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**Other Matters**

**Archaeology**

36. Comments have been received from the County's Archaeological Officer who advises that the site lies towards the eastern side of the historic core of Edenbridge, which was a later medieval market town. Prior to this it is considered that there may have been a community along the Roman road which is considered to be on the alignment of the High Street. Remains associated with Roman or later activity may survive on site and it is therefore recommended that a condition be placed on any permission that may be given, to secure and implement field evaluation works in accordance with a scheme to be submitted and approved by the County Planning Authority.

**Construction**

37. A condition requiring the submission of a full Construction Management Strategy, prior to commencement of development has been requested by the Highways and Transportation Officer and is considered appropriate given the School's location amongst residential properties and the centre of town. This would need to include, amongst other matters, times of access to the site (to avoid school peak times), operative parking, wheel washing facilities and delivery vehicle unloading and turning.

**Drainage**

38. The application was supported by the submission of a drainage scheme, drainage plan and a Flood Risk Assessment which has been assessed by the County's Flood Risk Project Officer. The scheme is considered to be of low risk, and the applicants have subsequently submitted the missing Drainage Strategy that was referred to in the earlier consultee response (paragraph 12). In the light of this the proposed development is considered to be acceptable in drainage terms.

**Tree removal**

39. The proposed development would require the removal of a common ash which is located at the corner of the playing field, and one small Hollywood juniper which has grown alongside the edge of the Sure Start building. The application was supported by an Arboricultural Statement which graded the ash as a category B tree and the juniper as a category C tree. Category B trees are defined as one of moderate quality and value and category C trees as being of low quality and value in British Standard 5837, 2012. Neither tree is considered to be of such significant value that they would justify constraining the design and it is proposed to plant 4 native replacement trees along the northern boundary to compensate for their removal. Subject to the imposition of a condition requiring the planting of these replacement trees in the first available planting season following construction, the scheme is considered to be acceptable.

**Conclusion**

40. In my view the key determining factors for this proposal are the planning policy aspects in relation the open space designation, highways and transport related issues, the siting



**Stand-alone teaching block to provide three new classrooms and associated facilities, new entrance lobby to existing school, and expansion of car park at Edenbridge Primary School – SE/16/03272/KCCRG3 (KCC/SE/0273/2016)**

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and design of the new building, and the objection received from Sport England regarding loss of playing field land. In addition weight should also be given to the NPPF's clear policy support for ensuring that a sufficient choice of school places be available to meet the needs of existing and new communities, and the need to create, expand or alter schools. Subject to the imposition of the conditions suggested below I consider that the development would not give rise to any demonstrable harm as explained in the discussion above, would result in a sustainable form of development, and would meet the aims of the NPPF in relation to the guidance for school provision.

**Recommendation**

41. I RECOMMEND that the application BE REFERRED to the Secretary of State for Communities and Local Government and SUBJECT TO his decision, PERMISSION BE GRANTED, SUBJECT TO the imposition of conditions covering (amongst other matters) the following:

- The standard 5 year time limit;
- The development to be carried out in accordance with the permitted details;
- The submission and approval of details of all construction materials to be used externally;
- The submission of a revised School Travel Plan prior to occupation of the new classroom building and its ongoing review via the 'Jambusters' system for 5 years, with monitoring results posted on the school's website;
- The submission of a Construction Management Plan, providing details of (amongst other matters) times of access to the site (to avoid school peak times), operative parking, wheel washing and delivery vehicle unloading and turning;
- The provision of the revised parking spaces shown on the site layout prior to occupation, and their permanent retention thereafter;
- The submission of a scheme of archaeological field evaluation work to be submitted and approved in writing prior to commencement of development and the recording and reporting of any findings;
- The School to undertake the planting of four native replacement trees in the first planting season following completion of development.

42. I FURTHER RECOMMEND that the following INFORMATIVES be added:

- The registering with Kent County Council of the School Travel Plan through the "Jambusters" website following the link <http://www.jambusterstpms.co.uk>;
- That the applicant ensures that all necessary highway approvals and consents are obtained;
- To ensure that works to trees are carried out outside of the breeding bird season and if this is not possible that an ecologist examines the site prior to works commencing.

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| Case Officer: Helen Edwards | Tel. no: 03000 413366 |
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| Background Documents: see section heading |
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